



136 Ringleas,  
Cotgrave, NG12 3NH

# 136 Ringleas, Cotgrave, NG12 3NH

Offered to the market with no upward chain, this semi detached family home provides spacious accommodation arranged over two floors which includes an entrance hall, a living room, a dining kitchen spanning the width of the property, and a lobby on the ground floor, with the first floor landing giving access to three good size bedrooms, and the wet room.

Benefiting from UPVC double glazing, and gas central heating with a combination boiler, the property boasts a privately enclosed low maintenance garden to the rear, and an attractive driveway at the front providing off road parking.

Situated in the popular south Nottinghamshire village of Cotgrave, the property is within easy reach of an extensive range of local facilities including primary schools, a leisure centre with swimming pool, shops and churches, a state of the art doctors surgery and library hub, public houses, a country park and a golf course. There are excellent transport links and main road routes from Cotgrave, to Nottingham and Leicester.

Viewing is recommended.

Guide Price £200,000





#### Directions

Ringleas can be located off Owthorpe Road, or Colston Gate, Cotgrave.

#### GROUND FLOOR ACCOMMODATION

##### UPVC Entrance Door

Opening to the:-

##### Entrance Hall

Stairs off to the first floor, under stairs storage and cloaks area, ceiling light point, radiator, meter cupboard (housing the meters and the fuse board), doors into the living room and the dining kitchen.

##### Living Room

UPVC double glazed window to the front elevation, ceiling light point, radiator, electric fire set in a brick surround.

##### Dining Kitchen

Fitted with a range of wall, drawer and base units, tiled splash backs and roll edge work surfaces, one and a half bowl sink and drainer unit with a mixer tap over, space and plumbing for a washing machine, space for an under counter fridge and an under counter freezer, built in electric fan assisted oven, with a gas hob and an extractor hood over.

UPVC double glazed windows to the side and rear elevations, two ceiling light points, radiator, UPVC double glazed door opening to the lobby.

##### Lobby

UPVC double glazed window to the rear elevation, laminate flooring, ceiling light point, radiator, UPVC double glazed door opening to the garden.

#### FIRST FLOOR ACCOMMODATION

##### First Floor Landing

Loft access hatch with a pull down ladder (giving access to the insulated loft space above, housing the Worcester Bosch combination boiler), doors into three bedrooms and the wet room.

##### Bedroom One

UPVC double glazed window to the front elevation, ceiling light point, radiator, fitted wardrobes.



#### Bedroom Two

UPVC double glazed window to the rear elevation, ceiling light point, radiator, fitted wardrobes.

#### Wet Room

Fitted with a mains fed shower with tiled area behind, a pedestal wash hand basin, and a low flush wc.

Opaque UPVC double glazed window to the rear elevation, vinyl floor covering, ceiling light point, chrome heated towel rail.

#### Bedroom Three

UPVC double glazed window to the front elevation, ceiling light point, radiator.

#### OUTSIDE

At the front of the property, the attractive paved driveway provides off road parking for a number of vehicles. There is timber fencing to the boundary, timber gated access to the side and rear, and access to the entrance door.

There is a covered lean-to area at the side of the property, providing a storage and bin store area, with an external light, and open access to the rear garden.

The low maintenance rear garden is laid mainly to paving, with well stocked flower beds. Timber fence enclosed, the garden has an external tap, an external light, and houses two timber sheds (one with light connected), and a potting shed.

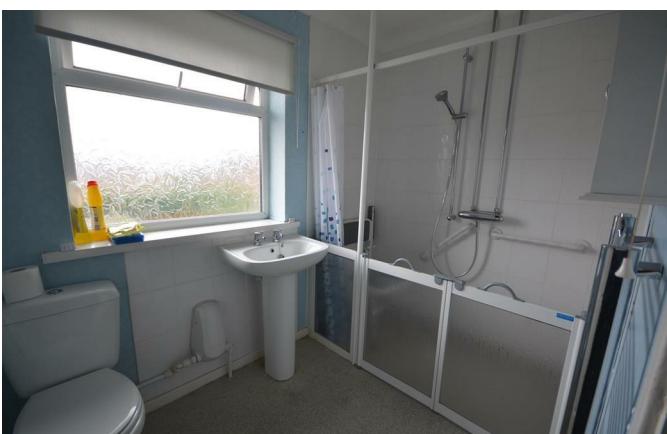
#### Council Tax Band

Council Tax Band A. Rushcliffe Borough Council.

Amount Payable 2023/2024 £1,558.33.

#### Referral Arrangement Note

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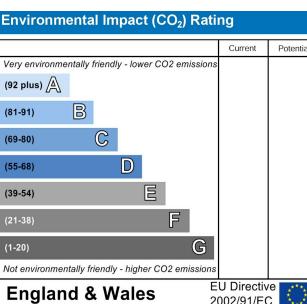
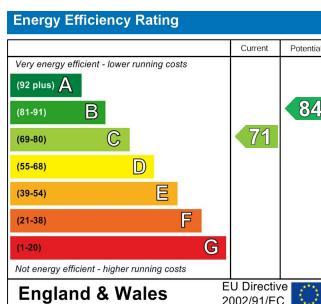


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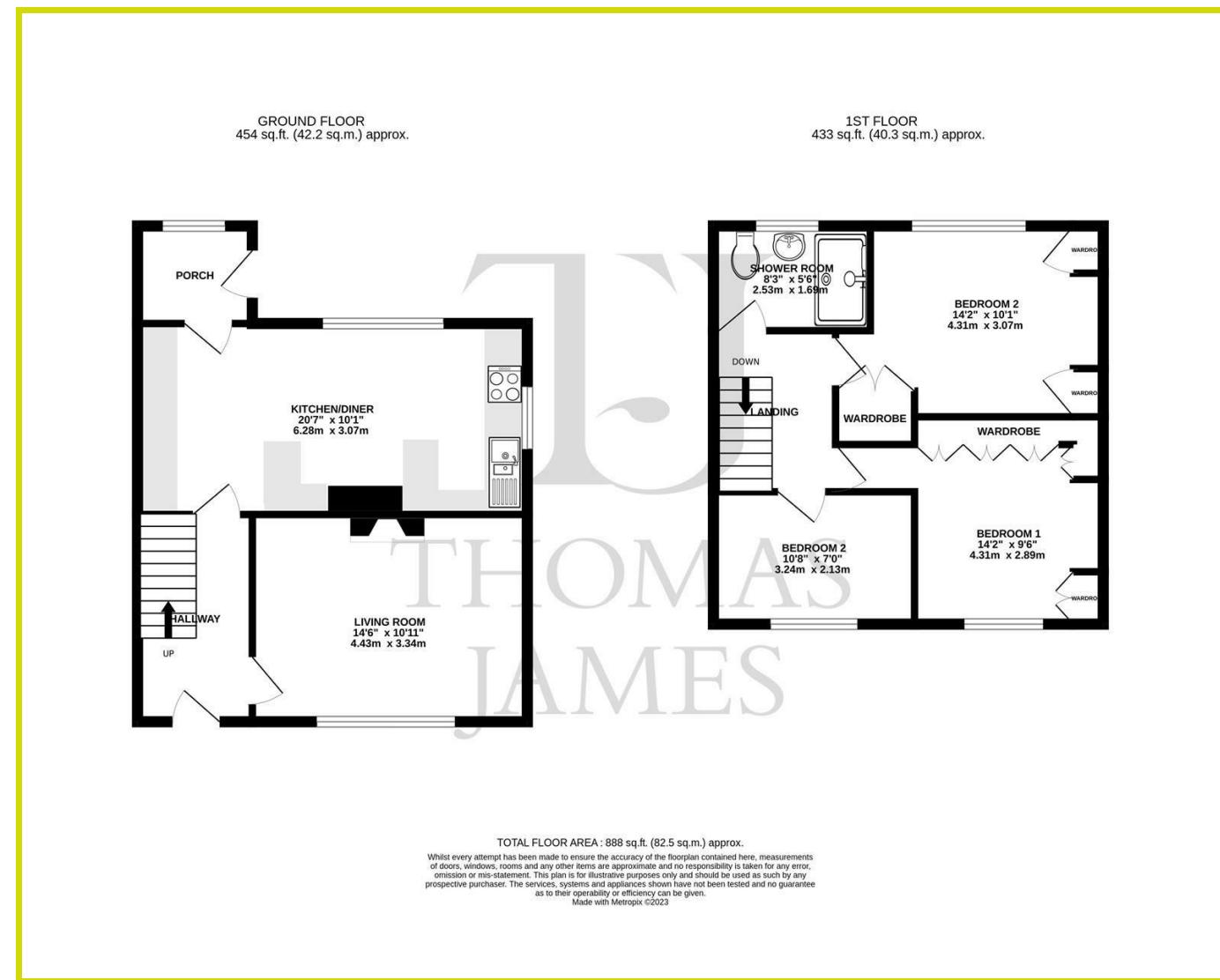
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